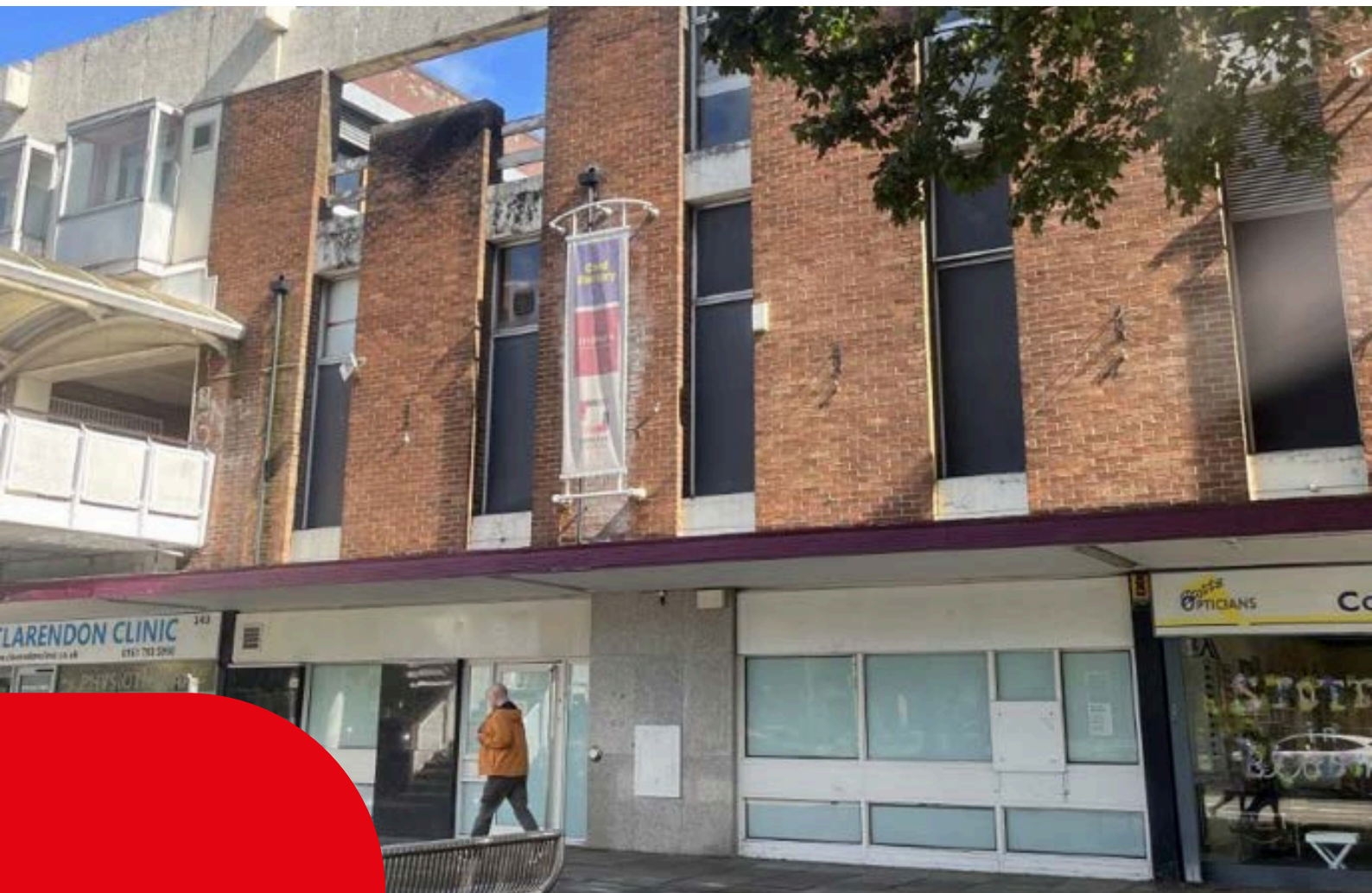


To Let



Swinton

139-141 Chorley Road, Swinton Square Shopping Centre, M27 4AE

1,938 sq ft (180 sq m)

Rent on Application

MAY SUIT OFFICE USE, SUBJECT TO PLANNING

Location & Description:

- Swinton is a suburb within the Greater Manchester conurbation and the Salford district, 4.2 miles to the north west of Manchester City Centre. Swinton is well connected and located within a mile of the orbital M60 Motorway and its junction with the M61 and the East Lancashire Road (A580).
- The centre is prominently located fronting Chorley Road (A6) which runs through the heart of Swinton connecting it directly to Manchester City Centre. The densely populated area provides the centre with a strong catchment area that extends to include approximately 765,000 people within 10 km and 2,465,000 people within 20 km.
- The subject premises are located on the exterior of the centre, fronting the busy Chorley Road and Town Hall with the added benefit of potential 'out of hours' trade.
- May suit office use, subject to planning.

Demise:

Ground Floor 1,938 sq ft (180.05 sq m)

Rent:

Available upon request.

Lease:

A new effectively full repairing and insuring lease for a term of years to be agreed, subject to 5 yearly upward only rent reviews.

Service Charge:

On-account service charge for the current year stands at approximately £8,164.42.

EPC:

Energy Performance Rating Assessment - C.

Legal and Professional Fees:

Each party to bear their own costs.

Rating Assessment:

Rateable Value (April 2023) - £21,500.

Date Prepared:

August 2024.

Contact Us:

Andrew McGuinness

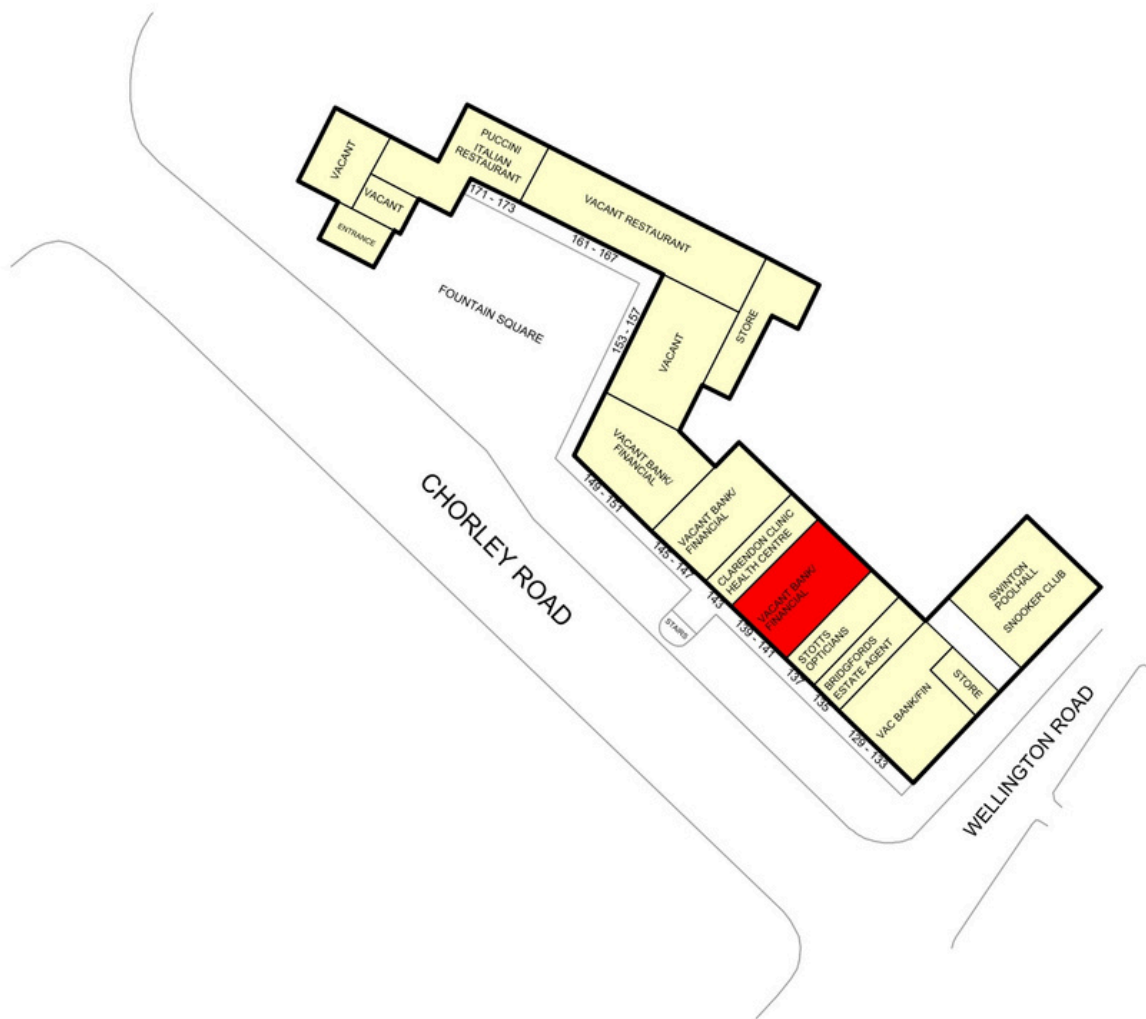
07769 641622

andrew@barkerproudlove.co.uk

Grant Owens

07808 646576

grant@barkerproudlove.co.uk



IMPORTANT NOTICE: Barker Proudlove gives notice to anyone who may read these particulars as follows: 1. These particulars are prepared for guidance only of prospective purchasers. They are intended to give a fair overall description of the property, but are not intended to constitute part of an offer or contract. 2. Any information contained herein (whether in the text, plans or photography) is given in good faith but should not be relied upon as being a statement or representation of fact. 3. Nothing in these particulars shall be deemed to be a statement that the property is in good condition or otherwise nor that any services or facilities are in good working order. 4. The photographs appearing in this brochure show only certain aspects of the property at the time when the photographs were taken. Certain aspects may have changed since the photographs were taken and it should not be assumed that the property remains precisely as displayed in the photographs. Furthermore no assumptions should be made in respect of parts of the property which are not shown in the photographs. 5. Any areas, measurements or distances referred to herein are approximate only. 6. Where there is reference in these particulars to the fact alterations have been carried out or that a particular use is made of any part of the property this is not intended to be a statement that any necessary planning, building regulations or other consents have been obtained and these matters must be verified by any intending purchaser. 7. Descriptions of a property are inevitably subjective and the descriptions contained herein are used in good faith as an opinion and not by way of statement of fact.